
MEMORANDUM

TO: PLANNING & ZONING COMMISSION
PARK DEVELOPMENT COMMITTEE
PARKS & RECREATION COMMITTEE
HISTORIC PROPERTIES COMMISSION

CC: BOARD OF SELECTMEN

FROM: PAUL R. MAZZACCARO, TOWN MANAGER *PRM*

RE: REUSE OF THE PETERS HOUSE – 150 EAST STREET

DATE: DECEMBER 15, 2005

I have attached for your review and comment a copy of the final report entitled, "Evaluation for Reuse – The Samuel Peters House," prepared by Robert Hurd of The Architects. This was funded in part by a Historic Preservation Technical Assistance Grant from the Connecticut Trust for Historic Preservation and a matching amount of funds from the Town of Hebron.

Please have your committee review the report and its recommendations and send any comments you or recommendations the committee may have to the Board of Selectmen for their consideration. If possible, please send your comments on or before January 19th.

**EVALUATION FOR REUSE
THE SAMUEL PETERS HOUSE
150 East Street, Hebron, CT**

**THE TOWN OF HEBRON, BOARD OF SELECTMEN
Karen Strid, Chairman
And THE HEBRON HISTORIC PROPERTIES COMMISSION
Deena Watson, Chairman**



**REPORT FUNDED IN PART BY A
HISTORIC PRESERVATION TECHNICAL ASSISTANCE GRANT
From the
CONNECTICUT TRUST FOR HISTORIC PRESERVATION**

**PREPARED BY: THE ARCHITECTS
Robert B. Hurd, AIA
56 Arbor Street
Hartford, CT 06106
DATE: December 15, 2005**

TABLE OF CONTENTS

ITEM	PAGE
SECTION 1 OVERVIEW: Scope of Evaluation	2
SECTION 2 BRIEF HISTORY	
2.1 Brief History	3
2.2 Partial Chain of Title	3
SECTION 3 DESCRIPTION and EXISTING CONDITIONS	
3.1 Historical Plans and Structure	4
3.2 Conversion to Two-family Dwelling	5
3.3 Significant Extant Features	5
SECTION 4 ALTERNATIVE USES and ACCOMMODATIONS	
4.1 Single-family Dwelling	6
4.2 Community Center/Municipal Offices	6
4.3 Local History Center/Museum	7
SECTION 5 OPINION of PROBABLE CONSTRUCTION COSTS	
5.1 Single-family Dwelling	8
5.2 Community Center/Municipal Offices	8
5.3 Local History Center/Museum	8
SECTION 6 CONCLUSIONS and RECOMMENDATIONS	9
APPENDIX A MEASURED FLOOR PLANS	
A.1 Existing First Floor Plan	
A.2 Existing Second Floor Plan	
A.3 Existing Basement Plan	
APPENDIX B PHOTOS - EXTERIOR and INTERIOR	
APPENDIX C SCHEMATIC PLANS for ALTERATIONS	
C.1 Schematic Plan - Alterations at First Floor	
C.2 Schematic Plan - Alterations at Second Floor	
APPENDIX D SECRETARY of the INTERIOR'S STANDARDS for REHABILITATION	

SECTION 1 OVERVIEW: Scope of Evaluation

The Town of Hebron recently acquired the eighteenth century dwelling house at 150 East Street, known locally as the Samuel Peters House, along with approximately one hundred (100) acres of farmland. In concert with efforts to plan for public use of the property, the Board of Selectmen and the Local Historic Properties Commission (LHPC) sought and received a Historic Preservation Technical Assistance Grant (HPTAG) from the Connecticut Trust for Historic Preservation. The matching grant provided \$2,520.00 to "commission recommendations and cost estimates for potential uses for (the house)." This study was funded in part with that grant.

The scope of the report was outlined in the consultant's Scope of Services and included:

1. **Prepare Measured Drawings:** field measure the existing structure and prepare measured floor plans showing existing conditions.
2. **Evaluate Existing Structure:** examine the existing building, including its structure, features and finishes; evaluate building code requirements as they impact not more than three (3) alternative uses; and present schematic floor plans showing required accommodations to the building code and alternative uses. Use photos provided by the Town of Hebron.
3. **Estimate of Probable Costs:** prepare an itemized opinion of probable costs for rehabilitation and/or restoration to accommodate alternative uses.
4. **Client Conferences:** meet with you and community representatives at least twice to discuss the scope and the results of the evaluation.
5. **Recommendations:** on or before the date set in your Notice to Proceed, provide one copy of report and recommendations for preservation and reuse or distribution of the property by the Town of Hebron, including use of Preservation Easements, listing on the National Register of Historic Places, listing as a Local Historic Property, etc.

The report will attempt to evaluate three alternative uses suggested during discussions with the Town Manager and community volunteers with an interest in the future use of the house and property. Further, the report will attempt to enumerate the probable construction costs associated with both maintenance of the building as a residence and conversion of the building to alternative uses. And the report will make recommendations for further study in connection with the efforts to preserve the house.

SECTION 2 BRIEF HISTORY

2.1 Brief History

The Samuel Peters House appears to date from the decade between 1780 and 1790. The manuscript histories of early Connecticut homes, published by the Connecticut Society, Colonial Dames of America in 1916, lists the date of construction as 1780; the Census of Old Buildings prepared by the Federal Writers Project, WPA, c.1935, lists 1790 as an alternative date of construction. Staff members at the Connecticut Commission on Culture and Tourism indicated that the property is listed as the Sam Peters House on the State Register of Historic Places.

The house features a center-chimney floor plan and a highly decorated nine-window facade with a projecting cross gable at the center, paneled Doric pilasters at all corners and the entry door, a fan light over the door and a Palladian window at the second floor. It has a boxed cornice with both crown and dentil moldings. These features suggest a late-Georgian (1760-1780) or early Federal (1780-1800) period of construction (photos 1 and 2).

The property appears to have been owned by the Reverend Samuel Peters from the early 1760's until 1774 when Reverend Peters, a Tory sympathizer, was driven from Hebron on the eve of the Revolutionary War. Research performed by local volunteers indicates that the State of Connecticut confiscated the property during the War and suggests that Reverend Peters' descendants owned the property well into the nineteenth century. According to the Hebron Land Records, Frank R. Post acquired the property from the estate of George Peters in 1882. F. Elton Post acquired the property from his father in 1934. F. Elton Post's widow, Monica C. Post, sold the property to Melvin W. Strickland and Ronald J. Emanuelson in 1967.

The house remained a single-family farmhouse until 1967 after which it appears to have been converted to a two-family dwelling. The house and land were acquired by the Town of Hebron in August 2004.

2.2 Partial Chain of Title (1882 to present)

Date recorded	Volume/Page	Grantor/Grantee	Deed/Instrument
3/20/1882	V. 24/P. 283	Estate of George Peters to Frank R. Post	Probate Order
9/17/1934	V. 31/P. 298	Frank R. Post to F. Elton Post	Warranty Deed
2/27/1967	V. 60/P. 511	Estate of F. Elton Post to Monica C. Post	Probate Order
3/21/1967	V. 60/P. 567	Monica C. Post to Melvin W. Strickland and Ronald J. Emanuelson	Warranty Deed
7/29/1967	V. 61/P. 159	Melvin W. Strickland and Ronald J. Emanuelson	Warranty Deed to Green Acres Farms, Inc.
8/21/1987	V. 128/P. 210	Green Acres Farms, Inc. to Intensity Holdings	Warranty Deed
8/21/1987	V. 128/P. 213	Intensity Holdings to Hidden Acres	Warranty Deed
2/18/1997	V. 181/P. 196	Hidden Acres becomes Hidden Acres LLC	Name Change
8/4/1997	V. 184/P. 335	Hidden Acres LLC to Hidden Acres Two LLC	Quit Claim Deed
6/10/2002	V. 290/P. 17	Hidden Acres Two LLC to M&M Poultry Farms LLC	Quit Claim Deed
8/26/2004	V. 375/P. 700	M&M Poultry Farms LLC to Town of Hebron	Warranty Deed

A thorough professional title search through the Hebron Land Records of the nineteenth century may provide clearer evidence of the chain of title and the date of construction.

SECTION 3 DESCRIPTION and EXISTING CONDITIONS

3.1 Historical Plans and Structure

As noted above, the house is constructed on a center-chimney plan with an ell to the rear. The main house had five rooms on each of two levels with a full basement and an attic. The one story ell had one room with a large chimney mass at the outer end of the living space and a shed or carriage barn beyond. The main house faced west, fronting on the road between the centers of Bolton and Hebron. The main house encloses approximately 2456.4 square feet on two levels; the ell encloses about 631 square feet on one level. The total usable area of the house is approximately 3087.4 square feet.

The center chimney has three fireplaces at the first floor including a bake oven in the kitchen (photo 4). The fireplace at the north parlor and the fireplace at the kitchen are stone; the fireplace at the south parlor is brick. The chimney has one brick fireplace at the second floor, located in the ballroom. All hearths are stone. The chimney has been repaired using concrete masonry at the second floor and attic. Original brick remains visible above the roof.

The foundation is dry set stone with cut brownstone above the grade line at the front and both sides. The clearance between the dirt floor and the summer beams is approximately 7'-0". The walls show signs of repairs over time; the chimney base includes a concrete masonry flue for the single boiler which currently serves the heating needs of the house.

The timber structure appears to be oak. It is in very good condition with no signs of rot or insect damage and no apparent disconnects between framing members. Sills are 6 inch hewn timbers; beams at the first floor are 8 inch x 8 inch and 8 inch x 10 inch hewn timbers; joists are 6 inch x 6 inch sawn members set at 20 inches on-center. Second floor framing is not visible without damage to interior finishes. Attic floor joists appear to be 5 inch by 5 inch sawn members, also set at 20 inches on-center. Rafters are 4 inch x 4 inch sawn members set at 34 inches on-center with 6 inch x 7 inch purlins at mid span. The ridge pole is five-sided and appears to be plumb with little or no sag.

Using an assumed bending stress of 2000 pounds per square inch (psi) for the existing oak floor joists, the first floor will support a total load of 127.7 pounds per square foot (psf) which will easily translate to a live load capacity in excess of 100 psf. Again, using the assumed bending stress of 2000 psi for the existing oak rafters, the roof will support a total load of 52.2 psf which translates to a live load capacity in excess of the 30 psf required by the State Building Code.

Exterior materials include painted wood clapboard siding and wood trim, asphalt roof shingles, wood windows and doors and the stone foundation previously discussed. The interior walls and ceilings have lath and plaster finishes; some have plywood paneling at the first floor. The floors have wood planks with some carpet and oak strip flooring at the first floor. Selected significant extant features, both exterior and interior, are discussed in 3.3 below.

SECTION 3 DESCRIPTION and EXISTING CONDITIONS

3.2 Conversion to Two-family Dwelling

The house was converted to a two-family dwelling during the late twentieth century (c.1970). Primary entry to the first floor apartment can be gained through the rear porch with doors to both the kitchen and the ell. Entry to the second floor apartment can be gained using a recent entry door on the north wall of the ell and a recent stair which leads to the rear wall of the main house at the second floor. Baths are located along the north wall at both levels of the main house. Replacement windows have been installed at the first floor kitchen, at all attic windows and at several locations in the ell. A large television dish antenna is mounted to the street facade below the windows of the north parlor.

The electrical system has a 200 amp capacity and consists of two 100 amp service panels. The plumbing fixtures appear serviceable for residential use; the septic system was replaced in 1993. The heating system appears minimally adequate; the oil-fired boiler was replaced at the time of conversion to a two-family dwelling.

3.3 Significant Extant Features

Significant extant features at the exterior include the six-over-six windows at the main house and the ell, the prominent street facade featuring a projecting central bay with triangular pediment and a boxed cornice with crown moldings, dentil moldings, also called modillions, and a simple smooth frieze supported by wide, two-story Doric pilasters (photos 1 and 2). The central bay features the same two-story Doric pilasters at the corners, a graceful Palladian window at the center of the second floor, and a six-panel entry door flanked by fluted pilasters and crowned by a semi-circular fan light and a broken pediment. As noted earlier, the foundation above grade features cut brownstone blocks at the street facade and both sides. The front stoop is cut brownstone.

Significant extant features at the first floor interior include the three fireplaces, the bake oven at the kitchen and the stone hearths previously discussed (photos 4 and 5) as well as the wood trim including a wood cornice with dentil moldings in the south parlor (photo 6), wide wood casings at all doors and windows, a chair rail at the level of the window stools and some paneling and decorative mantle pieces at the fireplace walls in both parlors.

Significant extant features at the second floor interior include the single fireplace (photo 7), the vaulted ceiling at the ballroom (photo 8), which rises to approximately 11'-9" above the floor, and the wood trim including wide wood casings at all doors and windows, a chair rail at the level of the window stools and a decorative mantle piece at the fireplace wall. An early built-in chest remains in place at the north chamber. Original plank floors remain exposed at this level.

Several original six-panel wood doors remain in place at both levels. The ell retains a large chimney mass which has been enclosed but appears to house a bake oven and cooking fireplace facing into the main house. Wood trim at the ell includes simple flat casings at doors and windows.

SECTION 4 ALTERNATIVE USES and ACCOMMODATIONS

4.1 Single-family Dwelling

The present (most recent) use as a one- and two-family dwelling requires little for conformance with the State Building Code. The structure will easily accommodate the minimum required structural loads. The frame and enclosure appear to be sound. The electrical and mechanical systems appear to be minimally adequate. The work required affects marketability.

To sell the house will require a suitable building lot with accessible frontage on the public road and at least one acre of land. Two acres would render the property more attractive to prospective buyers. In addition to the minimum lot size described above, the R1 Zone requires:

- minimum frontage = 175 ft.
- minimum front yard = 50 ft. *
- minimum side yard = 20 ft.
- minimum rear yard = 50 ft.
- maximum height = 2-1/2 stories
- maximum coverage = 15%
- parking for two cars per dwelling unit

* The property survey on file with the Hebron Town Clerk indicates that the existing house does not conform to this setback requirement.

Prior to selling or rehabilitating the house, the Town should secure a hazardous materials evaluation. To render the house marketable will require a new roof, limited repairs to siding and trim (estimated at 5% of the wall area), repairs to windows and doors, exterior painting and confirmation that all mechanical and electrical systems are safe and functional. See Section 5. Opinion of Probable Construction Costs.

4.2 Community Center/Municipal Offices

A change of use to accommodate municipal activities such as a community center or offices will require a zoning review and a special permit in the R1 Zone. In addition to the open space requirements listed above, the parking requirement for office use is one space for each 200 square feet or 15 spaces, one of which will be an accessible space.

The State Building Code will require conformance with current minimum standards for access, egress, general building safety and facilities and energy performance. The Business (B) use group requires a structural load capacity of 50 psf on all levels. As outlined in Section 3, the existing structure appears to meet or exceed this requirement.

Both the Code and the ADA require full access to the building for persons with disabilities when changing the use of a building. An accessible route into the building can be created through the modification of the existing side porch and construction of a raised path from a parking lot at the rear of the building to a small bridge ramp onto the raised platform of the porch. The existing rear door opening is sufficiently wide to accommodate wheelchair access. Two handicapped accessible lavatories will be required at the first floor. Since the building contains fewer than 3000 square feet per floor, the second floor need not be accessible if the activities on both levels are the same.

Since the occupant load of the building at 31 persons is fewer than 50 persons, the single egress stair from the second floor appears to be adequate. Connection between the first and second floor using this stair will be desirable and can be accomplished through the installation of a doorway in place of the small closet at the bottom of the stair. See Section 5. Opinion of Probable Construction Costs.

SECTION 4 ALTERNATIVE USES and ACCOMMODATIONS

4.2 Community Center/Municipal Offices (continued)

As with the option for residential use, the building will require a new roof, as well as repairs or restoration of siding and trim, restoration of all windows and doors, exterior painting (with a hazardous materials evaluation), repairs or restoration of significant interior trim, refinishing of existing floors, walls and ceilings and new mechanical systems for plumbing, heating and air conditioning and new electrical systems, including distribution materials and equipment, power and lighting devices and fixtures and systems for security and communications.

4.3 Local History Center/Museum

A change of use to accommodate a museum or local history center activities will require a zoning review and a special permit in the R1 Zone. In addition to the open space requirements listed above, the parking requirement for museum use is one space for each 600 square feet or 5 spaces, one of which will be an accessible space.

The State Building Code will require conformance with current minimum standards for access, egress, general building safety and facilities and energy performance. The Assembly (A3) use group requires a structural load capacity of 100 psf on all levels. As outlined in Section 3, the existing structure appears to meet this requirement. The second floor may be better used as offices (B) with a structural load requirement of 50 psf.

Both the Code and the ADA require full access to the building for persons with disabilities when changing the use of a building. As outlined in 4.2 above, an accessible route into the building can be created through the modification of the existing side porch and construction of a raised path from a parking lot at the rear of the building to a small bridge ramp onto the raised platform of the porch. The existing rear door opening is sufficiently wide to accommodate wheelchair access. Two handicapped accessible lavatories will be required at the first floor. Since the building contains fewer than 3000 square feet per floor, the second floor need not be accessible if the activities on both level are the same. If used as a museum with offices, wheelchair access to the upper floor may be desirable. (This will require an elevator or wheelchair lift.)

With museum use on the first floor, the occupant load at that level will exceed 56 persons. With office use at the second floor, the occupant load will be 12 persons at that level. Since this is fewer than 50 persons, the single egress stair from the second floor again appears to be adequate. Connection between the first and second floor using this stair will be desirable and can be accomplished through the installation of a doorway in place of the small closet at the bottom of the stair.

As with the options for business use, the building will require a new roof, as well as repairs or restoration of siding and trim, restoration of all windows and doors, exterior painting (with a hazardous materials evaluation), repairs or restoration of significant interior trim, refinishing of existing floors, walls and ceilings and new mechanical systems for plumbing, heating and air conditioning and new electrical systems, including distribution materials and equipment, power and lighting devices and fixtures and systems for security and communications. See Section 5. Opinion of Probable Construction Costs.

SECTION 5 OPINION of PROBABLE CONSTRUCTION COSTS

5.1	Single-family Dwelling (Exterior Repairs ONLY)	
	Remove and replace existing roof (include plywood underlayment)	\$ 25,500
	Repair existing siding and trim (estimate at 5% of total area)	\$ 3,000
	Repair existing windows and exterior doors (34 windows, 5 doors)	\$ 4,500
	Scrape and paint existing siding and trim (use lead-safe work practices)	\$ 37,000
	Evaluate plumbing, heating and electrical systems	\$ 1,000
	<u>Repair plumbing, heating and electrical systems as required</u>	<u>\$ 1,500</u>
	Subtotal - work listed above	\$ 72,500
	<u>Contingency - recommended at 8% of construction values</u>	<u>\$ 5,800</u>
	Probable Construction Cost for single-family dwelling	\$ 78,300
5.2	Community Center/Municipal Offices (Rehabilitation and Restoration)	
	Create parking area for 15 cars at rear of existing building	\$ 20,000
	Create an accessible path to the rear entry at the side porch	\$ 6,000
	Remove and replace existing roof (include plywood underlayment)	\$ 26,000
	Restore existing siding and trim (estimate at 15% of total area)	\$ 9,000
	Restore existing windows and exterior doors; provide new hardware	\$ 15,000
	Scrape and paint existing siding and trim (use lead-safe work practices)	\$ 37,000
	Create new accessible lavatories (include new partitions where required)	\$ 14,000
	Create protected means of egress from the second floor (use exist. stair)	\$ 8,000
	Refinish existing interior floors, ceilings, walls and trim	\$ 22,000
	Provide new unisex lavatory at the second floor	\$ 6,000
	Provide new plumbing systems including supply and waste piping	\$ 15,000
	Provide new heating and air conditioning systems	\$ 45,000
	Provide new electrical distribution and lighting systems	\$ 30,000
	<u>Provide new security and communications systems</u>	<u>\$ 15,000</u>
	Subtotal - work listed above	\$ 268,000
	<u>Contingency - recommended at 10% of construction values</u>	<u>\$ 26,800</u>
	Probable Construction Cost for community center/municipal offices	\$ 294,800
5.3	Local History Center/Museum (Rehabilitation and Restoration)	
	Create parking area for 5 cars at rear of existing building	\$ 8,000
	Create an accessible path to the rear entry at the side porch	\$ 6,000
	Remove and replace existing roof (include plywood underlayment)	\$ 26,000
	Restore existing siding and trim (estimate at 15% of total area)	\$ 9,000
	Restore existing windows and exterior doors; provide new hardware	\$ 15,000
	Scrape and paint existing siding and trim (use lead-safe work practices)	\$ 37,000
	Create new accessible lavatories (include new partitions where required)	\$ 14,000
	Create protected means of egress from the second floor (use exist. stair)	\$ 8,000
	Refinish existing interior floors, ceilings, walls and trim	\$ 22,000
	Provide new unisex lavatory at the second floor	\$ 6,000
	Provide new elevator or lift for access to second floor offices	\$ 75,000
	Provide new plumbing systems including supply and waste piping	\$ 15,000
	Provide new heating and air conditioning systems	\$ 45,000
	Provide new electrical distribution and lighting systems	\$ 30,000
	<u>Provide new security and communications systems</u>	<u>\$ 15,000</u>
	Subtotal - work listed above	\$ 331,000
	<u>Contingency - recommended at 10% of construction values</u>	<u>\$ 33,100</u>
	Probable Construction Cost for local history center/museum	\$ 364,100

SECTION 6 CONCLUSIONS and RECOMMENDATIONS


While the pedigree of the Samuel Peters House appears to be a little muddy, the building itself appears to be well made and structurally sound. Its appears to have been constructed c.1785. Its exterior requires limited repairs (restoration) to preserve its extant cladding and significant decorative features. Regardless of its ultimate disposition, I recommend that the Town of Hebron (the Town) retain a competent consultant to assess the presence of hazardous and/or potentially hazardous materials to guide the decision-making process. The cost for such an assessment will range from \$3,000 to \$6,000.

This report studied the basic implications of three alternative uses suggested during the course of the investigation. These included 1. continued use as a private residence; 2. rehabilitation for use as a municipal community center and office building serving the Town as an adjunct to the new recreation complex; and 3. rehabilitation for use as a local history center or museum, remaining town-owned and operated under a lease by a local nonprofit entity. The building appears suited any of these options depending on the needs of the community.

The probable construction costs relating to each of these options range from \$78,000 to \$364,000. If the Town chooses to maintain ownership of the building, the municipal community center and office building appears to be the best alternative use for the property. If the Town wishes to dispose of the building, creation of a single-family home with the limited exterior repairs necessary to assure an unencumbered sale appears to be the second best alternative. Regardless of the selected alternative, I recommend that the Town pursue designation of the house as a local historic property. If the house is sold without listing as a local historic property, I recommend attachment of a preservation easement to the property prior to placing the it on the market.

If the Town intends to maintain ownership and pursue rehabilitation and reuse, I recommend application to the State Historic Preservation Office for a matching grant to allow a more extensive and detailed planning and feasibility study. Such a study will develop the design documents and related construction cost estimates necessary to allow pursuit of construction grants and/or approvals for the expenditure of municipal funds. As an adjunct to the planning and feasibility study, the Town may wish to purchase a professional title search to provide clearer evidence of the chain of title and a definitive date of construction.

Attachments A through D depict the existing property, a schematic approach to its rehabilitation for municipal use and the Secretary of the Interior's Standards for Rehabilitation.

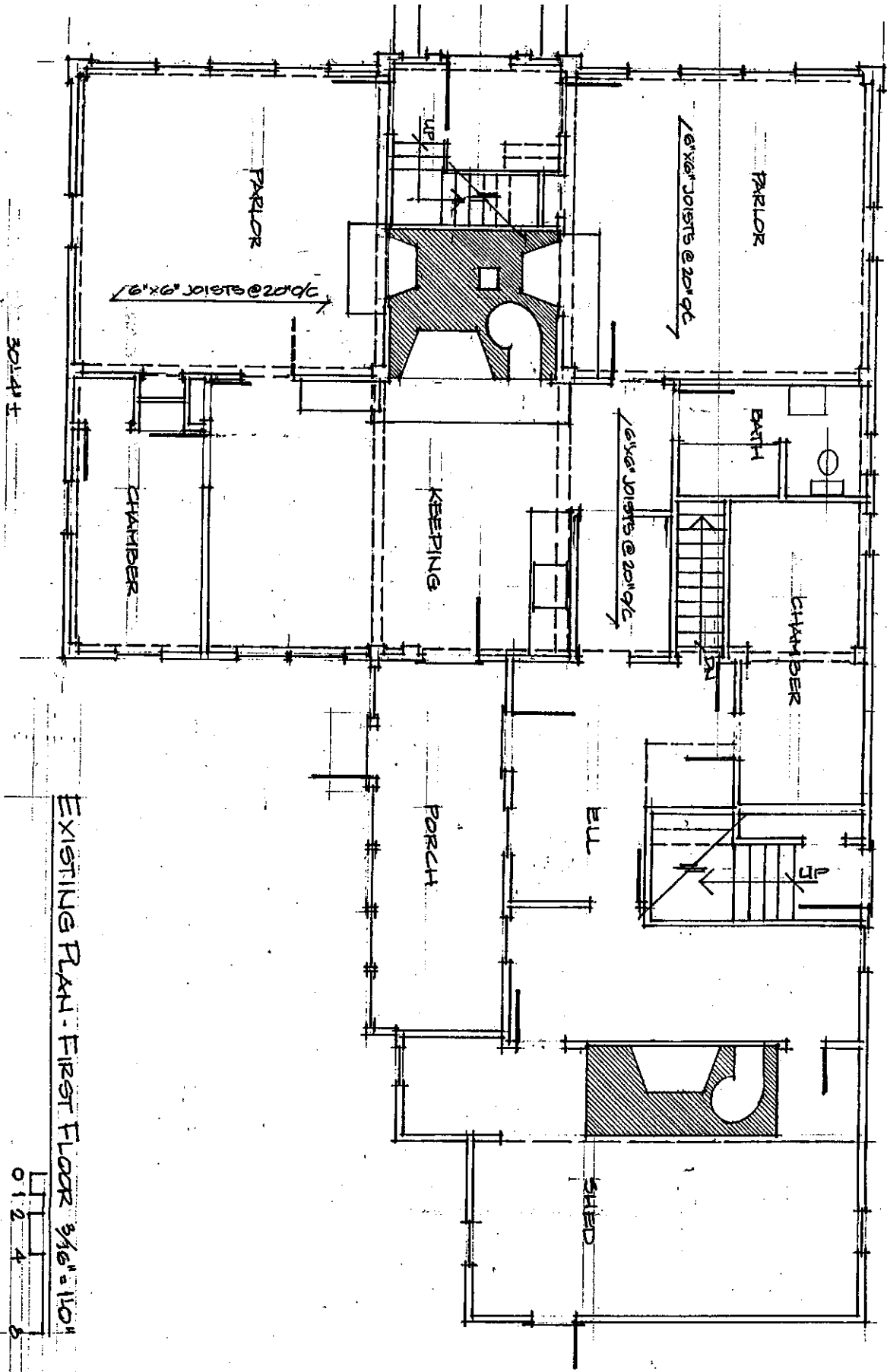
Submitted by:  , 12/15/2005.
Robert B. Hurd, AIA - Architect, CT Lic. No. 2946

**EVALUATION for REUSE: The Samuel Peters House
150 East Street, Hebron, CT**

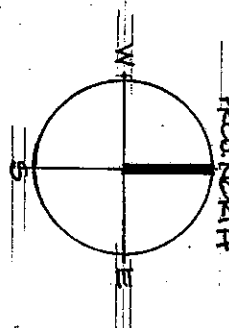
December 15, 2005

APPENDIX A: MEASURED FLOOR PLANS

- A.1 Existing First Floor Plan**
- A.2 Existing Second Floor Plan**
- A.3 Existing Basement Plan**



EXISTING PLAN - FIRST FLOOR 3/16" = 1/8"



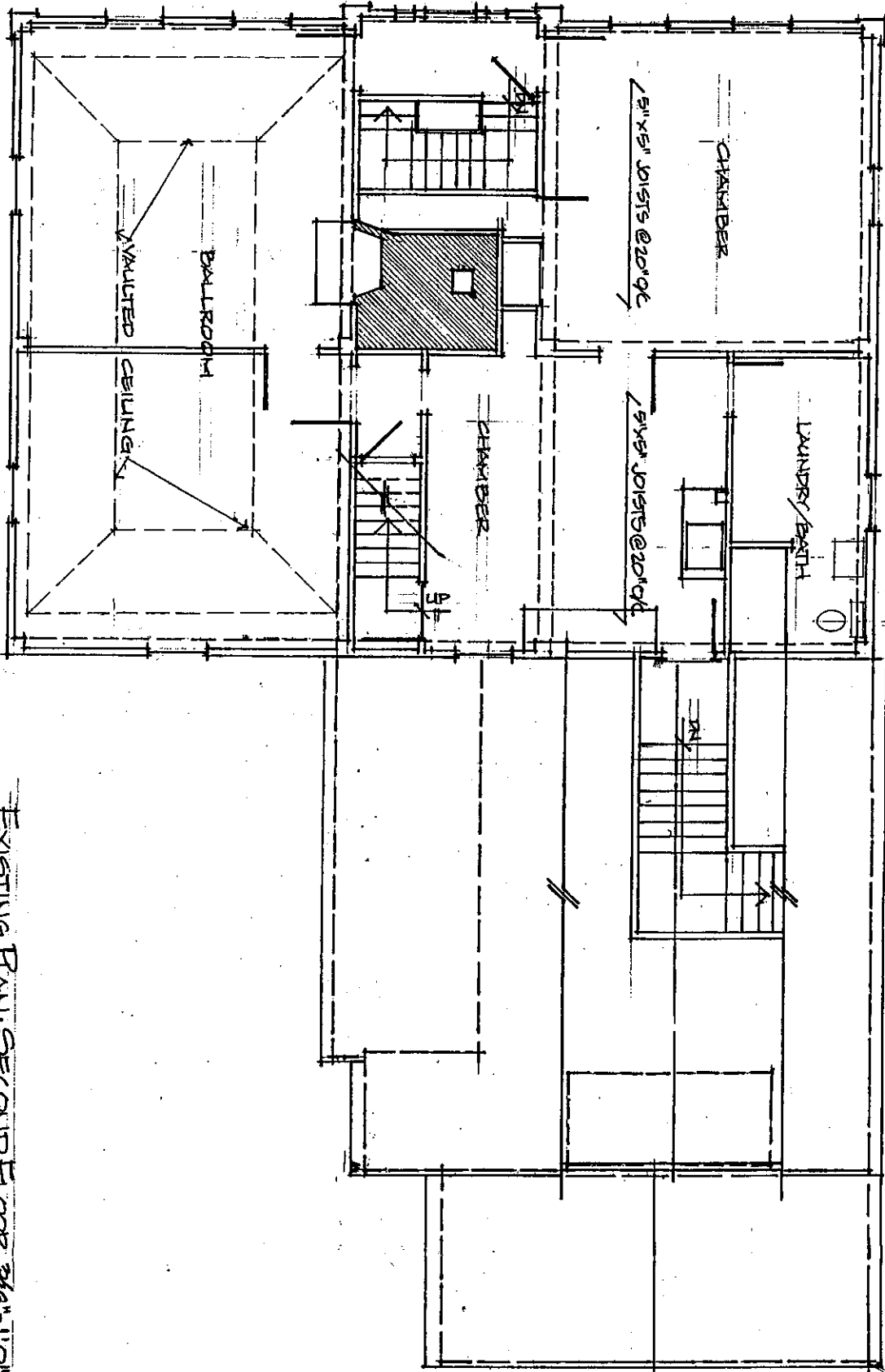
A.

EVALUATION of the SAMUEL PETERS HOUSE
 100 EAST STREET, HEBRON, CT
 FOR: THE TOWN of HEBRON

SCALE: AS NOTED REVISIONS:



The Architects
 Robert B. Hurd, A.I.A.
 56 Arbor Street
 Hartford, CT 06106



EXISTING PLAN: SECOND FLOOR 3/8" = 1'-0"

0 1 2 4 8

A.

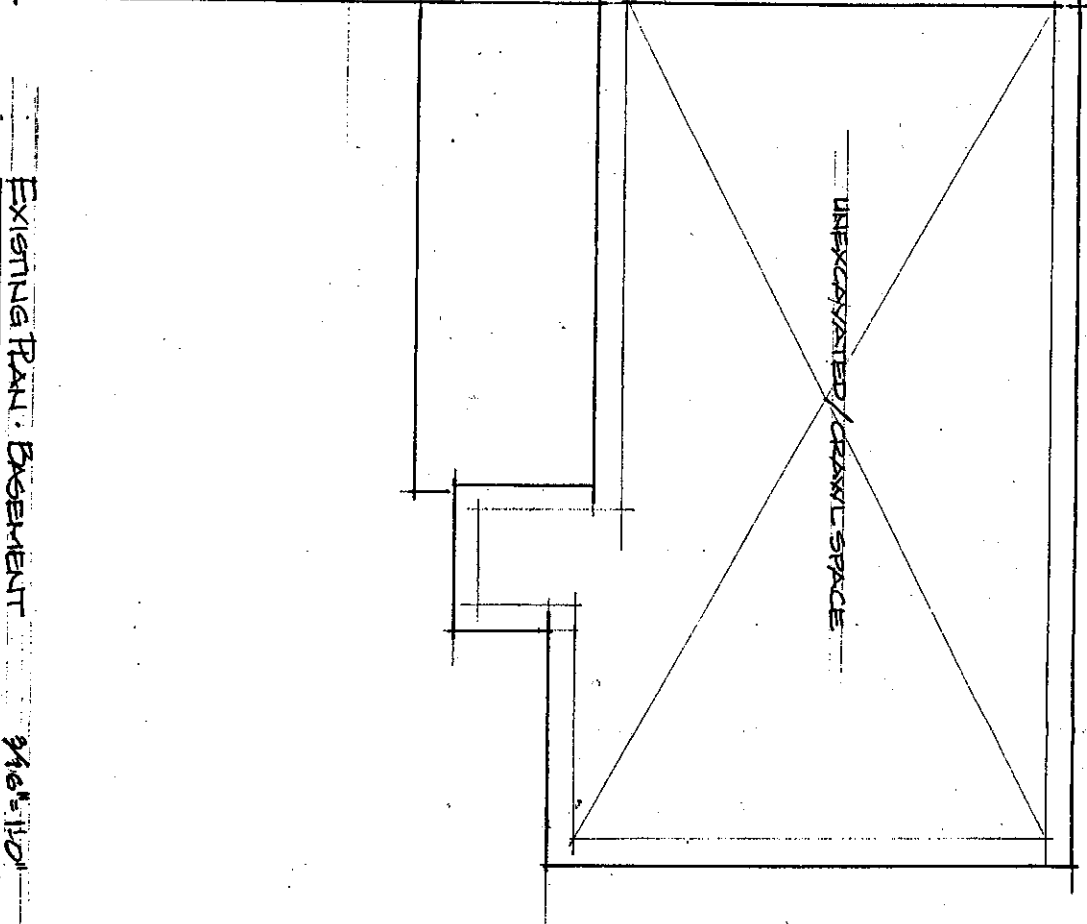
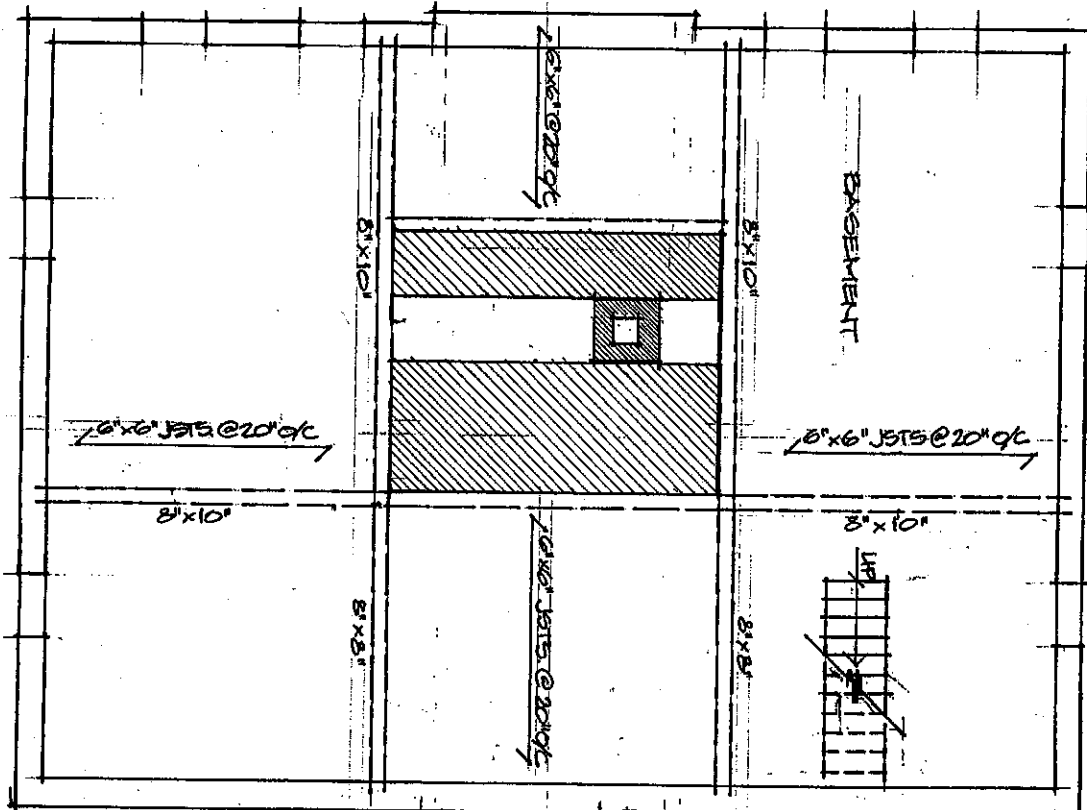
EVALUATION of the SAMUEL PETERS HOUSE
 150 EAST STREET, HEBRON, CT
 FOR: THE TOWN OF HEBRON

SCALE AS NOTED

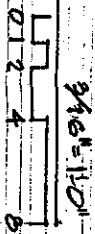
REVISIONS:



The Architects
 Robert B. Hurd, A.I.A.
 56 Arbor Street
 Hartford, CT 06106



EXISTING PLAN BASEMENT



A.

EVALUATION of the SAMUEL PETERS HOUSE
 180 EAST STREET, HEBRON, CT
 FOR: THE TOWN OF HEBRON

SCALE: AS NOTED

REVISIONS:



The Architects
 Robert B. Hurd, A.I.A.
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 Hartford, CT 06106

APPENDIX B: PHOTOS - EXTERIOR and INTERIOR
(Photos provided by Donna McCalla)

1. Street Façade (cover photo)



2. Street Façade showing cornice and pediment

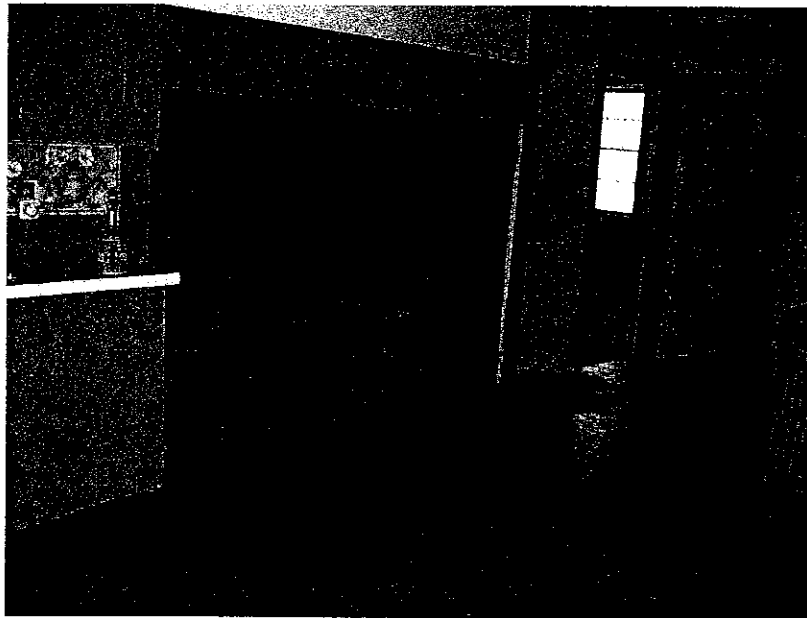


APPENDIX B: PHOTOS - EXTERIOR and INTERIOR

3. North Side Elevation



4. Fireplace at Kitchen (Keeping Room)



APPENDIX B: PHOTOS - EXTERIOR and INTERIOR

5. Fireplace at North Parlor



6. Detail - Crown Molding at South Parlor



APPENDIX B: PHOTOS - EXTERIOR and INTERIOR

7. Fireplace at Ballroom



8. Detail - Vaulted Ceiling at Ballroom



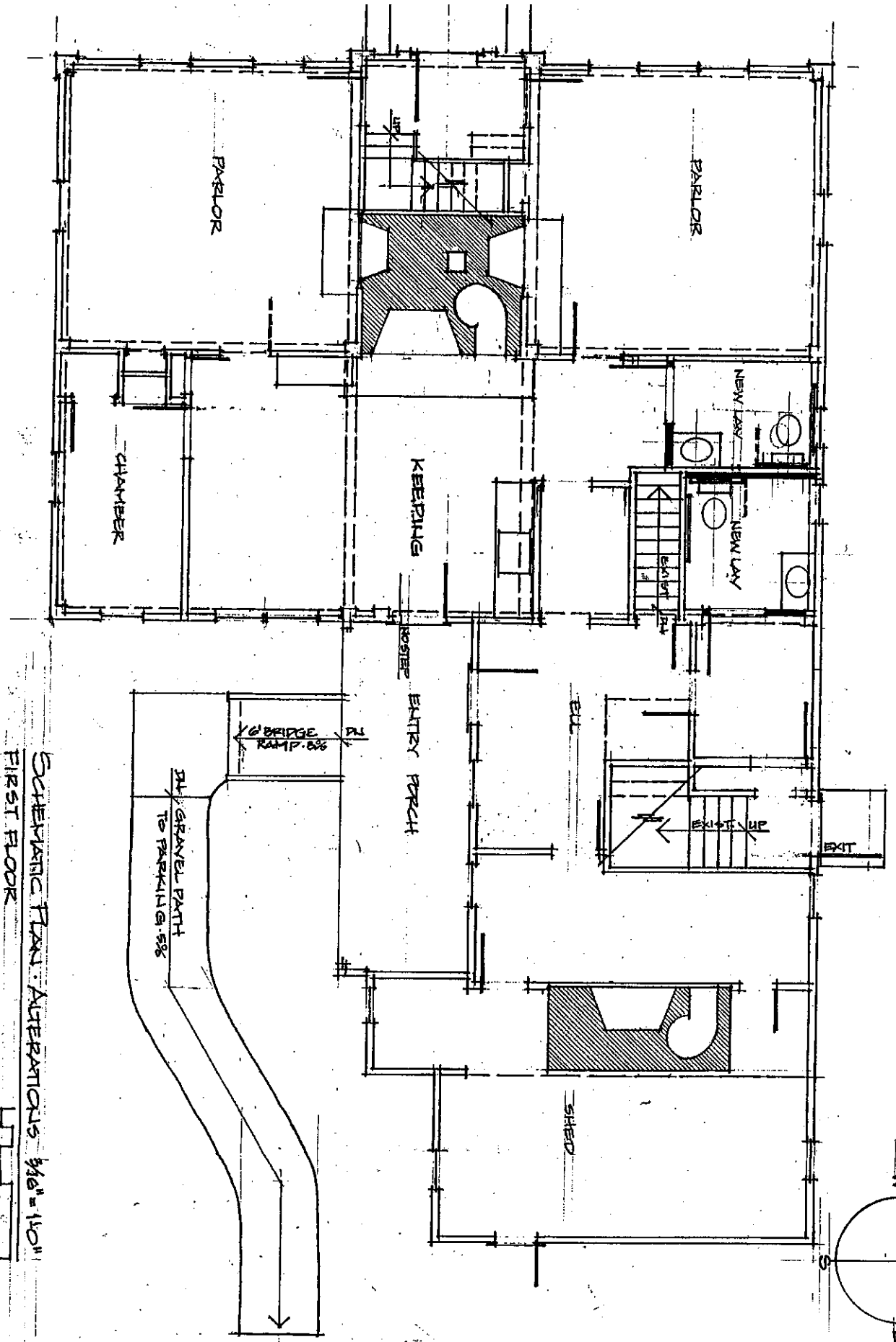
**EVALUATION for REUSE: The Samuel Peters House
150 East Street, Hebron, CT**

December 15, 2005

APPENDIX C: SCHEMATIC PLANS for ALTERATIONS

C.1 Schematic Plan - Alterations at First Floor

C.2 Schematic Plan - Alterations at Second Floor



SCHEMATIC PLAN: ALTERATIONS 3/8" = 1'-0"
 FIRST FLOOR

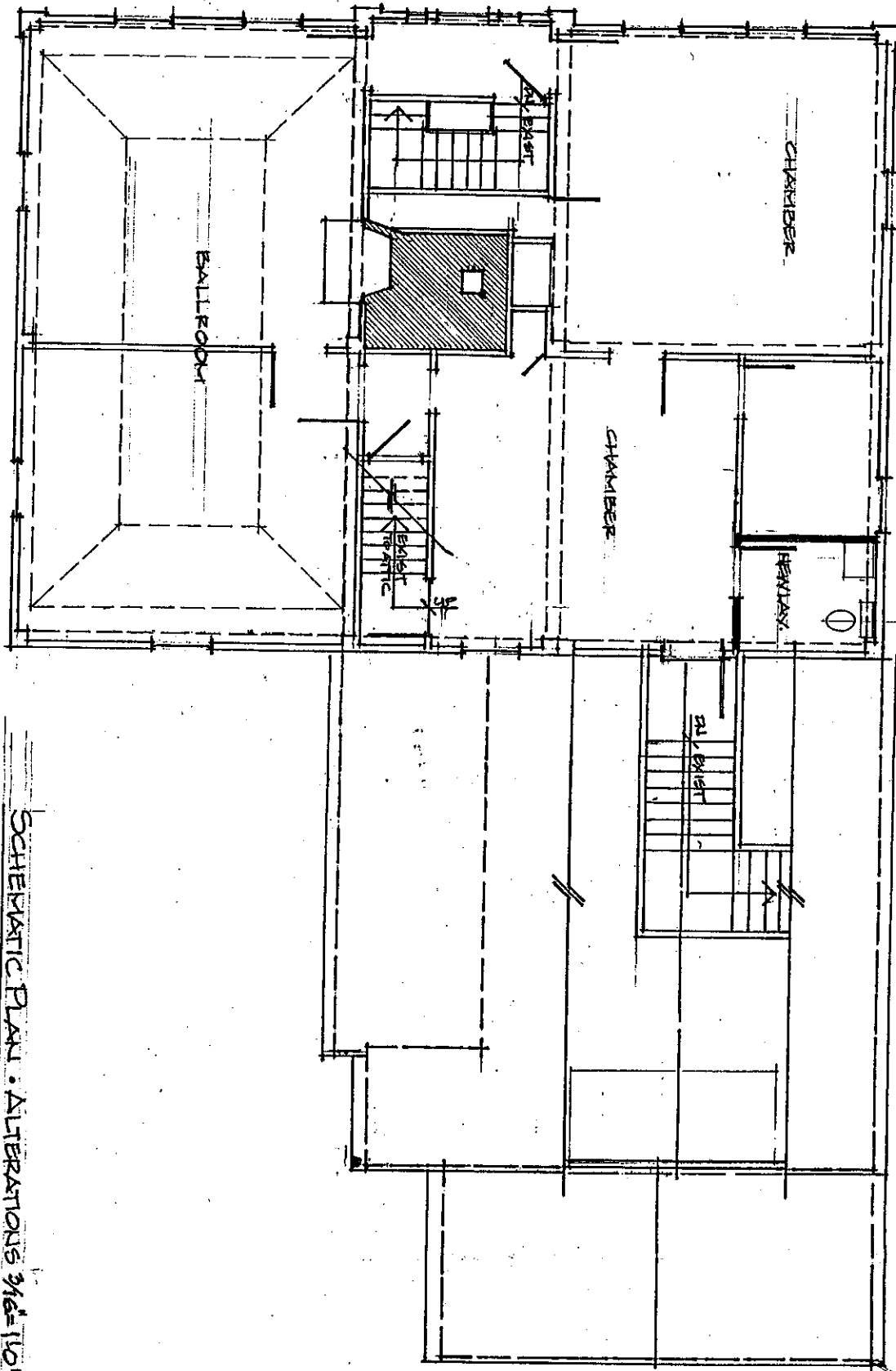


EVALUATION of the SAMUEL PETERS HOUSE
 180 EAST STREET, HEBRON, CT
 FOR THE TOWN OF HEBRON

SCALE: AS NOTED REVISIONS:



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SCHEMATIC PLAN: ALTERATIONS 3/6/11
 SECOND FLOOR



EVALUATION of the SAMUEL PETERS HOUSE
 180 EAST STREET, HEBRON, CT
 FOR: THE TOWN OF HEBRON

SCALE: AS NOTED

REVISIONS:



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**APPENDIX D:
SECRETARY of the INTERIOR'S STANDARDS for REHABILITATION**

The Secretary of the Interior's Standards for Rehabilitation are ten basic principles created to help preserve the distinctive character of a historic building and its site, while allowing for reasonable change to meet new needs.

The Standards (36 CFR Part 67) apply to historic buildings of all periods, styles, types, materials, and sizes. They apply to both the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment as well as attached, adjacent, or related new construction.

Rehabilitation projects must meet the following Standards, as interpreted by the National Park Service, to qualify as "certified rehabilitations" eligible for the 20% rehabilitation tax credit.

The Standards are applied to projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

**APPENDIX D:
SECRETARY of the INTERIOR'S STANDARDS for REHABILITATION**

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.